

401 N. MARKET STREET SITE PLAN

401 N. MARKET STREET FREDERICK, MARYLAND 21701

GENERAL NOTES

- SITE IS KNOWN AS "401 N. MARKET STREET" AND IS SHOWN ON FREDERICK COUNTY TAX MAP NO. 067H, PARCEL 1615, TAX ID NO. 02-1108015, LIBER 15651 FOLIO 00125. THE SITE IS ZONED DB (DOWNTOWN BUSINESS) WITH AN HPO OVERLAY (HISTORIC PRESERVATION OVERLAY). THE SITE WAS CONSOLIDATED INTO A SINGLE 8,279 SF OR 0.1901 ACRE LOT PER PLAT 0109-0051.
- THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND MAY NOT INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
- THIS PLAN WAS PREPARED WITH THE BENEFIT OF A TOPOGRAPHIC AND BOUNDARY SURVEY PERFORMED BY POTOMAC VALLEY SURVEYS ON MARCH 30, 2023. DATUM: M.S.P. NAD83/11 NAVD 88

THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH AN ACCURATE BOUNDARY LINE SURVEY AS DEFINED BY "COMAR" TITLE 09 SUBTITLE 13 CHAPTER 06 SECTION 03 PERFORMED BY OR UNDER DIRECT SUPERVISION OF A PROFESSIONAL LAND SURVEYOR.

- UTILITIES SHOWN ARE BASED UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISABLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AVAILABLE AT THE TIME OF SURVEY. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE VERIFIED BEFORE COMMENCEMENT OF ANY CONSTRUCTION.

- THERE IS NO FLOODPLAIN ON THIS PROPERTY. THE SITE IS IN ZONE "X" (OUTSIDE THE 500-YEAR FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP NO. 24021C-0291E, DATED AUGUST 1, 2023.

- SOILS INFORMATION TAKEN FROM "SOILS SURVEY OF FREDERICK COUNTY", 2010 EDITION.

DwB – DUFFIELD–HAGERSTOWN–URBAN LAND COMPLEX, 3 TO 8 PERCENT SLOPES, HYDROLOGICAL RATING B
URC – URBAN LAND, 3 TO 15 PERCENT SLOPES, HYDROLOGICAL RATING D

- THERE ARE NO NON-TIDAL WETLANDS LOCATED IN THE LIMITS OF THIS PROJECT SITE PER MD DNR MERLIN.
- THE PROJECT IS SUBJECT TO THE REQUIREMENTS SET IN THE LAND MANAGEMENT CODE UNDER TABLE 407-1

Standard	Required	Provided (or Proposed)
Density	75	N/A
FAR	4	0.55
Trip Cap per Acre	1,724	TBD
% Stormwater treated by non structural practices	N/A	TBD
Street Connectivity	1.2	TBD
Building Class	CLASS A	CLASS A

- FOREST RESOURCE ORDINANCE (SECTION 721 FOREST CONSERVATION) DOES NOT APPLY BECAUSE THE PROJECT SIZE IS LESS THAN 40,000 SF.

- THE MODERATELY PRICED DWELLING UNIT (MPDU) PROVISION OF CHAPTER 19 OF THE CITY CODE DOES NOT APPLY PROVIDED THE PROJECT CONTAINS LESS THAN 25 DWELLING UNITS.

- ALL ACCESSIBILITY DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF MARYLAND ACCESSIBILITY CODE (COMAR 05.02.02) AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.

- WASTE COLLECTION AND RECYCLING IS PROVIDED BY THE CITY OF FREDERICK AND COLLECTION WILL BE BROUGHT VIA 95 GALLON TOTES TO MARKET STREET.

- A SITE PLAN ENFORCEMENT AGREEMENT WILL BE EXECUTED PRIOR TO BUILDING PERMIT ISSUANCE.

- THE PURPOSE OF THIS PROJECT IS TO DEMOLISH THE EXISTING BRICK STORAGE GARAGE AND CONSTRUCT A NEW 4-STORY 12,281 GSF BUILDING. THE BUILDING WILL CONSIST OF 9 RESIDENTIAL UNITS ON THE 2ND THROUGH 4TH FLOORS, THE GROUND FLOOR (2,509 SF) WILL CONSIST OF 2 TAKE-OUT RESTAURANTS/BAKERIES, AND THE BASEMENT FLOOR (2,627 SF) WILL CONSIST OF A STORAGE FACILITY.

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST CITY OF FREDERICK STANDARD SPECIFICATIONS AND DETAILS, AND WHERE APPLICABLE THE MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS AND DETAILS.

- CONTRACTOR TO NOTIFY "MISS UTILITY" AT (800) 257-7777 AND THE CITY OF FREDERICK DEPARTMENT OF ENGINEERING AT (301) 600-1405 AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. BEFORE EXCAVATION THE CONTRACTOR IS RESPONSIBLE FOR CALLING TICKET CHECK AT 1-866-821-4226 TO VERIFY THAT ALL UTILITIES HAVE BEEN MARKED, 72 HOURS AFTER CALLING "MISS UTILITY".

- ALL TAPS TO CITY OF FREDERICK WATER LINES SHALL BE PERFORMED BY THE CITY OF FREDERICK DEPARTMENT OF PUBLIC WORKS AT THE DEVELOPER'S EXPENSE.

- CONTRACTOR SHALL NOT TAP OR OTHERWISE PENETRATE EXISTING SEWER MAIN LINES WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF ENGINEERING AND/OR DPW. CONTRACTOR IS RESPONSIBLE TO AVOID SPILLAGE OF RAW SEWAGE. CONTRACTOR SHALL PROVIDE ALL SEWER PLUGGING AND PUMPING EQUIPMENT NECESSARY TO AVOID SPILLAGE.

- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC ON EXISTING ROADWAYS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MARYLAND STATE HIGHWAY ADMINISTRATION (SHA) BOOK OF STANDARDS, LATEST EDITIONS.

- ALL UTILITIES AND STORM DRAINS OUTSIDE OF CITY OF FREDERICK RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENTS TO BE OWNED AND MAINTAINED BY PROPERTY OWNERS.

- WHEN WORKING IN THE AREA OF AN EXISTING GAS LINE, THE CONTRACTOR SHALL HAVE THE WASHINGTON GAS COMPANY (301) 662-2151 VERIFY THAT NO LEAKS EXIST PRIOR TO ANY WORK IN THE AREA. A GAS COMPANY REPRESENTATIVE MUST BE PRESENT AT THE PROJECT SITE BEFORE ANY BLASTING WITHIN 20 FEET OF GAS LINES. ANY EXCAVATION WITHIN FIVE (5) FEET OF A GAS LINE SHALL BE DONE BY HAND. THE DEVELOPER, OR THE DEVELOPER'S REPRESENTATIVE SHALL GET APPROVAL FROM THE GAS COMPANY FOR ANY WORK WITHIN A GAS LINE EASEMENT AREA.

- ALL EXTERIOR WATER VALVES MUST OPEN RIGHT.

- ON-SITE UTILITIES SHALL COMPLY WITH CITY PLUMBING CODE REQUIREMENTS.

- THE CONTRACTOR SHALL NOT (1) STAGE WORK, (2) STORE MATERIALS OR (3) PERMIT PARKING OF EQUIPMENT AND/OR CONSTRUCTION-RELATED VEHICLES IN THE PUBLIC RIGHTS-OF-WAY OR PUBLICLY-OWNED PROPERTY WITHOUT PRIOR APPROVAL OF THE CITY TRAFFIC ENGINEER OR DESIGNEE. WHERE PRACTICAL AND TO THE DEGREE POSSIBLE, THE ENGINEER SHALL DESIGNATE ON THESE PLANS APPROPRIATE SPACE THAT CAN BE UTILIZED FOR THE ABOVE PURPOSES. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ENSURE THAT PROPER AND APPROPRIATE AREAS ARE SECURED FOR THESE USES FOR THE DURATION OF THE PROJECT.

- IMPROVEMENT PLANS SHALL CLEARLY SHOW THE FINALIZED LOCATIONS OF ALL POWER UTILITIES ABOVE AND BELOW GROUND (POWER LINES, VAULTS, DUCT BANKS, SWITCHGEARS AND ANY OTHER ASSOCIATED APPURTENANCES). ALL ELECTRIC SERVICE EQUIPMENT IN THE DOWNTOWN AREA SHALL BE SUBTERRANEAN. NO PRIVATE ELECTRICAL APPURTENANCES OF ANY KIND SHALL BE PERMITTED WITHIN THE PUBLIC RIGHT OF WAY.

- CONTRACTOR IS RESPONSIBLE FOR ALL COSTS RELATED TO TEMPORARY AND PERMANENT TRAFFIC CONTROL (PAVEMENT MARKINGS, SIGNAGE, SIGNALIZATION, TRAFFIC BARRIER, FLAGGERS, ETC.).

- ANY LANE AND/OR ROAD CLOSURES REQUIRE FOUR (4) WEEKS ADVANCE NOTICE AND A PERMIT FROM THE CITY OF FREDERICK TRAFFIC ENGINEER. THE CITY TRAFFIC ENGINEER CAN BE REACHED BY PHONE AT 301-600-1488.

- IF ROAD OR ANY PART OF ROAD IS TO BE CLOSED, A DETAILED DETOUR AND/OR CLOSURE PLAN SHALL BE SUBMITTED TO THE CITY TRAFFIC ENGINEER FOR APPROVAL.

- IF TEMPORARY PARKING, INGRESS/EGRESS OR PEDESTRIAN RESTRICTIONS SHALL BE REQUIRED DURING PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SIGNS AND NOTIFYING ALL AFFECTED RESIDENTS/BUSINESSES AT LEAST ONE (1) DAY IN ADVANCE. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE CITY OR COUNTY AUTHORITY BEFORE ANY OF THE ABOVE MODIFICATIONS ARE ENACTED.

- CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DUST, DEBRIS AND MUD FROM ENTERING ALL ROADWAYS. IF DUST, DIRT, DEBRIS AND/OR MUD HAPPEN TO OVERRIDE THE PREVENTION MEASURES AND ENTER THE ROADWAY OR SIDEWALK, THE CONTRACTOR SHALL BE REQUIRED TO CLEAN THE ROADWAY OR SIDEWALK AS SOON AS POSSIBLE, AT HIS/HER EXPENSE. SEE CITY OF FREDERICK MUD ORDINANCE PURSUANT TO SECTION 22-2 OF THE FREDERICK CITY CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELIMINATION OF DUST IN THE AIR BY THE REQUIRED WATERING OF THE GROUND AS NEEDED.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SILT AND DEBRIS OUT OF STORM DRAIN SYSTEM DURING CONSTRUCTION AND SHALL CLEAN THE SYSTEM THOROUGHLY, AT THE CONTRACTOR'S EXPENSE, PRIOR TO FINAL ACCEPTANCE BY THE CITY.

- ALL BENCHMARKS SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL CITY HAS GRANTED FINAL APPROVAL TO THE PROJECT.

BENCHMARK DATA (NAVD88)			
BM	C16V	NGS MONUMENT	ELEV 297.38
TBM	C15V	STOOP	ELEV 301.03
MONUMENT	50H	DIFF	ELEV 311.63
BM	D1V	SQ CUT	ELEV 295.90

- PLACE 4" MINIMUM OF TOPSOIL IN ALL GREEN AREAS BEFORE PERMANENT SEEDING IS PERFORMED.

- MINIMUM 2% SLOPES MUST BE PROVIDED FOR ADEQUATE DRAINAGE OF GRASSY AREAS. DRIVEWAYS SHALL HAVE A MAXIMUM 15% SLOPE.

- ONLY STEEL FORMS ARE TO BE USED WHILE PLACING SIDEWALK FOR STRAIGHT SECTIONS AND RADII GREATER THAN 200'.

- STORMWATER MANAGEMENT IS NOT REQUIRED AS THE LIMITS OF DISTURBANCE IS LESS THAN 5,000 SF.

- SITE IS LOCATED WITHIN THE DOWNTOWN PERMIT PARKING DISTRICT. NO ADDITIONAL PARKING IS PROVIDED.

PARKING REQUIREMENTS PER SECTION 607, TABLE 607-1 OF THE LAND MANAGEMENT CODE:

MULTI-FAMILY – 9 RESIDENTIAL UNITS			
MINIMUM SPACES:	1.5 PER UNIT	14 SPACES MINIMUM	
MAXIMUM SPACES:	2.5 PER UNIT	23 SPACES MAXIMUM	
BICYCLE SPACES:	1 PER 10 VEHICLE SPACES	1 TO 2 SPACES	

*RESIDENTIAL PARKING WILL BE WITHIN THE STREET PER THE CITY OF FREDERICK RESIDENTIAL PERMIT PARKING PLAN.

FAST FOOD RESTAURANTS/BAKERY (RETAIL) – 2 UNITS TOTALING 2,509 SF			
MINIMUM SPACES:	1 PER 75 SF	33 SPACES MINIMUM	
MAXIMUM SPACES:	1 PER 50 SF	50 SPACES MAXIMUM	
BICYCLE SPACES:	1 PER 10 VEHICLE SPACES	3 TO 5 SPACES	

STORAGE WAREHOUSE – 1 UNITS TOTALING 2,627 SF			
MINIMUM SPACES:	1 PER 1,000 SF	3 SPACES MINIMUM	
MAXIMUM SPACES:	1 PER 350 SF	6 SPACES MAXIMUM	
BICYCLE SPACES:	N/A	N/A	

TOTAL PARKING SPACES REQUIRED:	50 TO 79 SPACES
TOTAL PARKING SPACES PROVIDED:	0 SPACES

TOTAL ADA SPACES REQUIRED:	2-3 SPACES
TOTAL ADA SPACES PROVIDED:	0 SPACES

TOTAL BICYCLE SPACES REQUIRED:	4 TO 7 SPACES
TOTAL BICYCLE SPACES PROVIDED:	BIKE STORAGE WILL BE LOCATED WITHIN THE BUILDING

LOADING SPACES REQUIRED (RETAIL = 2,509 SF)			
RETAIL	>2,000 BUT < 5,000	1 SMALL (9'X20')	
RETAIL	5,000 TO 40,000	1 LARGE (12'X50')	
RETAIL	>40,000	1 LARGE + 1 PER ADDITIONAL 40,000 SF	

LOADING SPACES REQUIRED:	1 SMALL (9'X20')
LOADING SPACES PROVIDED:	LOADING IS TEMPORARY IN NATURE AND WILL BE ORCHESTRATED FROM THE PUBLIC RIGHT-OF-WAY.

- ARCHEOLOGICAL ASSESSMENT (ARCH23-____) WAS COMPLETED ON _____, 202__.

- THE PROJECT WAS PRESENTED TO THE CITYWIDE PLANNING DIVISION COMMUNITY OUTREACH MEETING ON _____.

- EXEMPTION FROM ADEQUATE PUBLIC FACILITIES ORDINANCE EXEMPTION FOR TRAFFIC (CHAPTER 4 SECTION 4-14(b)(1)) WAS APPROVED ON _____, 202__. APFO TESTING FOR WATER (CHAPTER 4 SECTION 4-12(c)) AND SEWER (CHAPTER 4 SECTION 4-13(c)) WAS APPROVED ON _____, 202__. APFO TESTING FOR SCHOOLS WAS APPROVED ON _____, 202__.

- A DEMOLITION REVIEW APPLICATION (HPC23-493DR) FOR REMOVAL OF THE EXISTING STRUCTURE ON THE PROPERTY HAS BEEN APPROVED WITH THE DECISION TO DEMO WITHOUT DELAY ON SEPTEMBER 29, 2023.

- THE ADJACENT ZONING TO THE WEST IS DR (DOWNTOWN RESIDENTIAL), THE ADJACENT ZONING TO THE NORTH, EAST AND SOUTH ARE DB (DOWNTOWN BUSINESS).

- ANY PROPOSED SIGNAGE FOR THE BUILDING MUST FIRST RECEIVE HPC APPROVAL AND BE PROCESSED THROUGH BUILDING PERMIT. THE MAXIMUM SIGNAGE HEIGHT FOR A FREESTANDING SIGN IS 4FT. THE SIGN SIZE HAS A MAXIMUM OF 2SF/BF WITH A MAXIMUM OF 32 SF SIGN SIZE ALLOWED. THE ATTACHED SIGN SIZE CAN BE 125% OF THE BUILDING FRONT. THE SIGNAGE IS SUBJECT TO APPROVAL AT THE TIME OF BUILDING PERMIT APPLICATION.

- PER SECTION 605(C)(3) IN THE DB ZONE, 1% OF THE PROJECT COST IS REQUIRED TO GO TO PUBLIC ART, AMENITIES, LANDSCAPING, ECT.

- PER SECTION 608(B) PARKLAND STANDARDS, THE PROJECT IS AN INFILL PROJECT; AND PER 608(F)(3) IN THE DB ZONE THE PROJECT WILL BE REQUIRED TO PAY \$1,000 PER UNIT ABOVE THE NUMBER OF EXISTING UNITS. THE GARAGE HAD NO RESIDENTIAL UNITS, SO ANY RESIDENTIAL UNITS WILL BE COUNTED. THIS FEE IS IN ADDITION TO THE PARKLAND FACILITIES IMPACT FEE THAT WILL BE REQUIRED AT THE TIME OF BUILDING PERMIT.

- THE PROPOSED BUILDING IS TO BE 50'-0"/54'-3" WIDE X 47'-4" LONG. THE BUILDING HEIGHT PEAK IS 42'-6" AND TYPICAL HEIGHT IS 40'-0" TO PARAPET.

CASE HISTORY:	FINAL PLAT	APPROVED: MAY 15, 2023
STF23-726FSU	SKETCH PLAN	APPROVED: NOVEMBER 7, 2023
STF23-1099SP	DEMOLITION WITHOUT DELAY	APPROVED: SEPTEMBER 29, 2023
HPC23-493DR	LEVEL 1 HPC	APPROVED: SEPTEMBER 28, 2023
HPC23-____	ARCHEOLOGICAL ASSESSMENT	
ARCH____	NO FURTHER ACTION	APPROVED: _____, 202__.

PROJECT DATA TABLE		
	REQUIRED	PROPOSED
TOTAL SITE AREA	3,000 SF	0.19 AC
BUILDING MAXIMUM HEIGHT	75'	42'-6"
MAXIMUM DENSITY	75	47.36
MINIMUM FRONTAGE	N/A	51'+/-
TOTAL PAVED AREA	N/A	-
BUILDING STREET SETBACK	0'	0'
INTERIOR SETBACK	0'	10.8'
REAR SETBACK	10'	N/A
IMPERVIOUS SURFACE RATIO	N/A	N/A
PROPOSED BUILDING FLOOR AREA	N/A	-
TOTAL PARKING REQUIREMENTS	N/A	-

CITY OF FREDERICK WATER AND SEWERAGE NOTE:	
The City of Frederick has instituted a Capacity Management Program governing the allocation of potable water and sewerage capacity to comply with Annotated Code of Maryland, Environment Article, §9-512. The allocation of water and sewerage treatment capacity for the development of the property depicted on this plat/site plan will be made in accordance with Chapter 25, Article IX of the Code of the City of Frederick, 1988 (as amended). Final allocation of water and sewerage treatment capacity is generally made at the time of building permit application, subject to the availability of such capacity and the payment of all required fees. The ability to permit and develop lots will be dependent on potable water supply and sewerage treatment capacity available at the time of building permit application. Federal, State, or City action, including operational moratoria, may temporarily suspend, delay or otherwise affect an allocation. Recordation of this plat or approval of this site plan is in conformance with the Frederick County Ten Year Water and Sewerage Plan.	
For the provisions of this plat, Water Treatment Capacity will be provided by The City of Frederick and Sewer Treatment Capacity will be provided by The City of Frederick.	

UTILITY INFORMATION

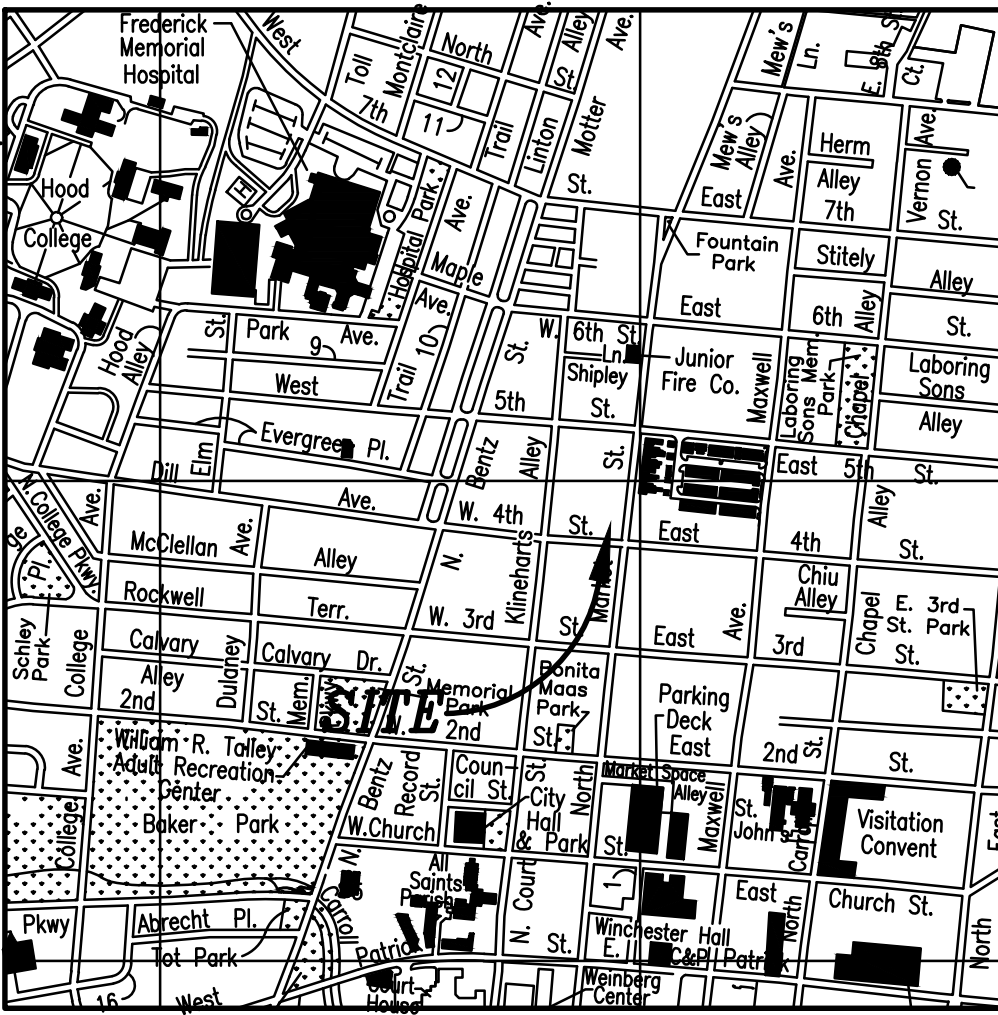
VERIZON (TELECOMMUNICATIONS)
1-800-275-2355

COMCAST (CABLE)
1-800-COMCAST

ALLEGHENY POWER (ELECTRIC)
5850 EAGLEHEAD DRIVE,
IJAMSVILLE, MD 21754
1-800-ALLEGHENY

WASHINGTON GAS
(FREDERICK DIVISION) (GAS)
1800 N. MARKET STREET
FREDERICK, MD 21701
1-800-752-7520

DEPARTMENT OF PUBLIC WORKS
(WATER & SEWER)
111 AIRPORT DRIVE EAST
FREDERICK, MD 21778
301-600-1440



VICINITY MAP
SCALE: 1" = 800'
CITY OF FREDERICK STREET MAP
GRID: J-9

DRAWING LIST	
SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
C-1A	EXISTING CONDITIONS PLAN
C-1B	DEMOLITION PLAN
C-3A	SITE PLAN
L-2.1	LANDSCAPE PLANTING PLAN
PHO.1	PHOTOMETRIC PLAN
A-301	BUILDING ELEVATIONS
A-302	BUILDING ELEVATIONS
A-303	BUILDING ELEVATIONS
A-304	BUILDING ELEVATIONS

Not included with this submission

GOLDEN CAPITAL, LLC - MS. SHILA TALATTOF

10054 MAPLE LEAF DRIVE, MONTGOMERY VILLAGE, MD 20886, TELE: [240] 428-5078

ADTEK ENGINEERS, INC

150 SOUTH EAST STREET, SUITE 201 FREDERICK, MD 21701, TELE: [301] 662-4408

ZA+D

21 BYTE COURT, SUITE 1, FREDERICK, MD 21702, TELE: (301) 698-0020

OWNER/
DEVELOPER

CIVIL

ARCHITECT

401 N. MARKET STREET

401 NORTH MARKET STREET FREDERICK, MD 21701
MAP: 067H GRID: 16 PARCELS: 1614 & 1613 NEIGHBORHOOD: 20000.11
SUBDIVISION: 0000 SECTION: N/A BLOCK: N/A
LOT: N/A PLAT BOOK & PAGE N/A ELECTION DISTRICT: 06

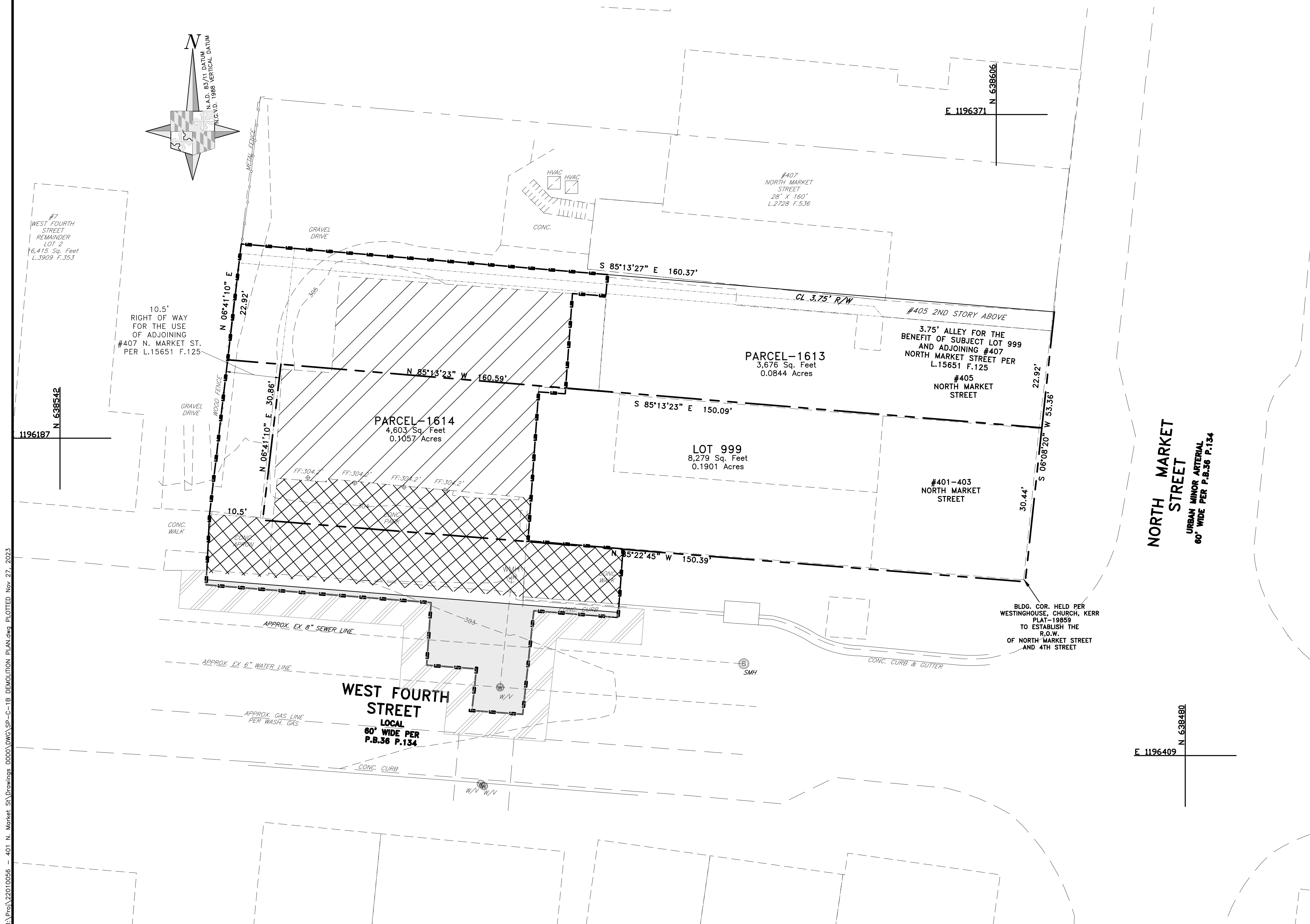
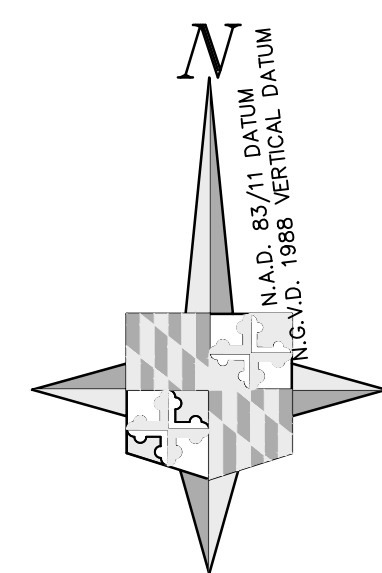
COVER SHEET

SCALE:	DATE:	PROJECT NUMBER:	DRAWING NUMBER:
N/A	09/27/2023	2201.056A	C-0
DRAWN BY:	DESIGN BY:	CHECKED BY:	SPB
JDC	JDC	JDC	SPB











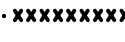



APPLICANT
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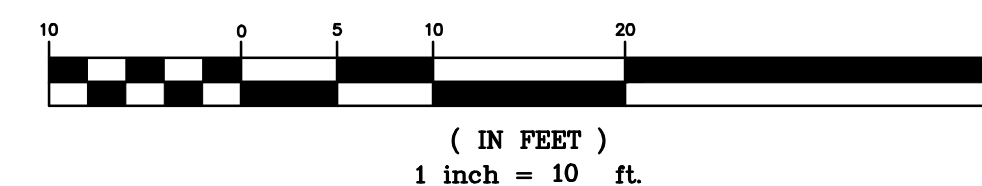


LEGEND

-  *EX. FENCE*
 *EXISTING BOUNDARY LINE*
 *PROPERTY LINE*
 *EX. INFRASTRUCTURE*
 *EX. PAVEMENT*
 *EX. MINOR CONTOUR*
 *EX. MAJOR CONTOUR*
 *BENCHMARK*
 *BENCHMARK*
 SITE AMENITY TO BE DEMOLISHED
 ASPHALT TO BE REMOVED
 CONCRETE TO BE REMOVED
 MILL & OVERLAY
 BUILDING TO BE DEMOED

CAUTION: IF THIS DRAWING IS A REDUCTION,
GRAPHIC SCALE MUST BE USED
(ORIGINAL SIZE = 24"x 36")

GRAPHIC SCALE

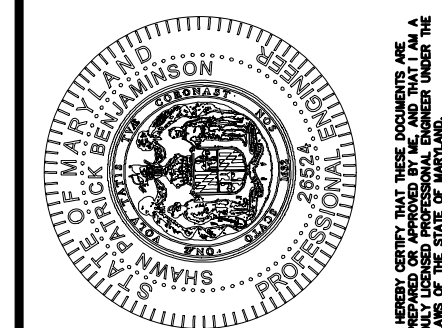


401 N. MARKET STREET
401 NORTH MARKET STREET, FREDERICK, MD 21701
MAP: 067H GRID: 16 PARCELS: 1614 & 1613 NEIGHBORHOOD: 20000.11
SUBDIVISION: 0000 SECTION: N/A BLOCK: N/A
107' N/A BLVD. FRONT & REAR N/A ELECTIONS DISTRICT: 05

DEMOLITION PLAN

SCALE:	1" = 10'	DATE: 09/27/2023	PROJECT NUMBER:	2201.056A
DRAWN BY:	JDG	DESIGN BY:	JDG	CHECKED BY:
				SPB
				DRAWING NUMBER:
				C-1B

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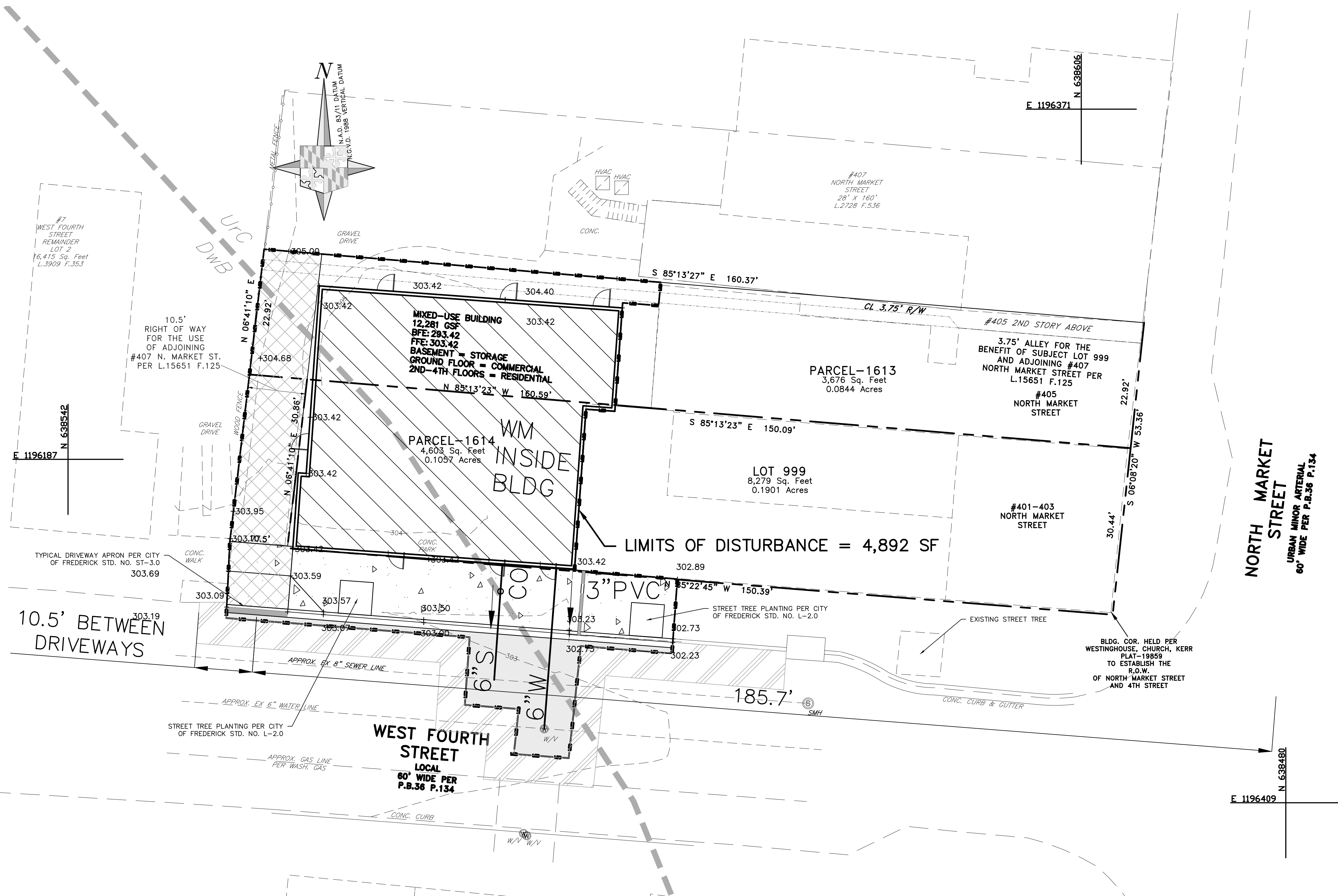
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ADTEK
CIVIL, STRUCTURAL AND SPECIALTY ENGINEERING
1150 South East Street, Suite 201
Farmingdale, New York 11735
Phone: 301-662-7400 Fax: 301-662-7484
www.adtekengineers.com

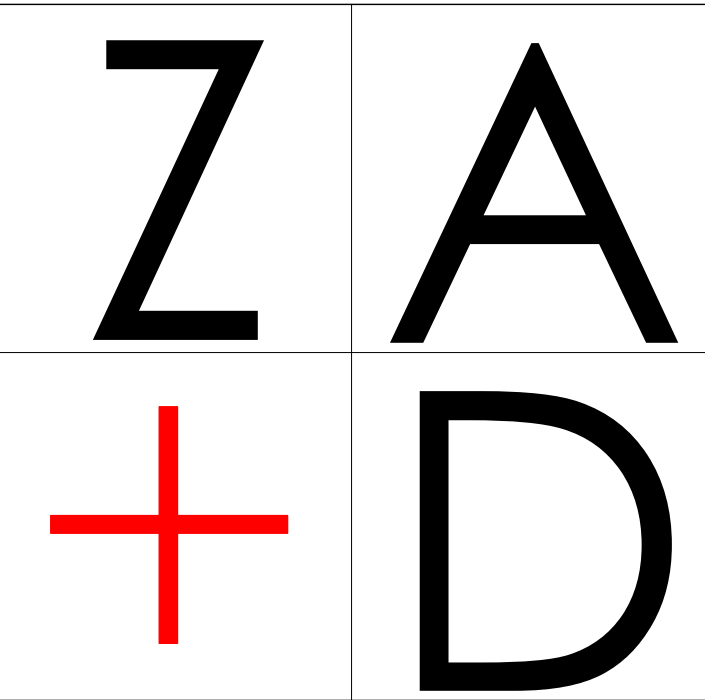
ISSUE		DESCRIPTION
NO.	DATE	

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SUBDIVISION: 0000 SECTION: N/A BLOCK: N/A
LOT: N/A PLAT BOOK & PAGE N/A ELECTION DISTRICT: 06

SITE PLAN

SCALE:	1" = 10'	DATE: 09/27/2023	PROJECT NUMBER: 2201.056A
DRAWN BY: JDC	DESIGN BY: JDC	CHECKED BY: SPB	DRAWING NUMBER: C-3



ZA+Ddesign
ZA+Dinteriors
ZA+Dpassiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS.
ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK.
ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

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QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	_____	DATE:	_____
DD REVIEWER INITIALS	_____	DATE:	_____
CD REVIEWER INITIALS	_____	DATE:	_____

SHILA APARTMENT

PROJECT ADDRESS:
13 W. 4th STREET
FREDERICK, MD 21701

SHEET NAME:
BUILDING ELEVATIONS

JOB NUMBER: 22602

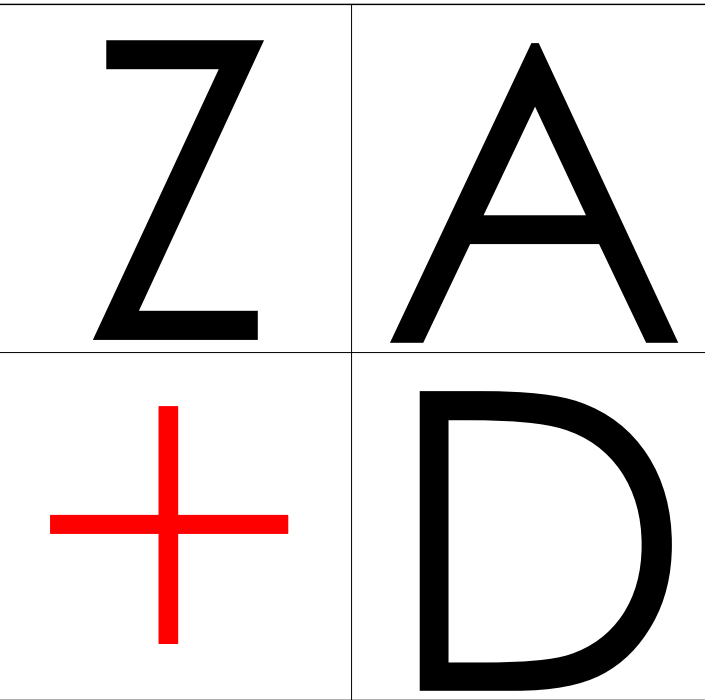
DRAWING NUMBER:

A-301

21 BYTE COURT, SUITE 1
FREDERICK, MD 21702
P.301.698.0020 F.301.698.0920
www.za-d.com



1 OVERALL ELEVATION - 4TH STREET
A-301 SCALE: 1/4" = 1'-0"



ZA+Ddesign
ZA+Dinteriors
ZA+Dpassiv
Redefining the Building Potential

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QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	_____	DATE:	_____
DD REVIEWER INITIALS	_____	DATE:	_____
CD REVIEWER INITIALS	_____	DATE:	_____

SHILA APARTMENT

PROJECT ADDRESS:
13 W. 4th STREET
FREDERICK, MD 21701

SHEET NAME:
BUILDING ELEVATIONS

JOB NUMBER: 22602

DRAWING NUMBER:

A-302

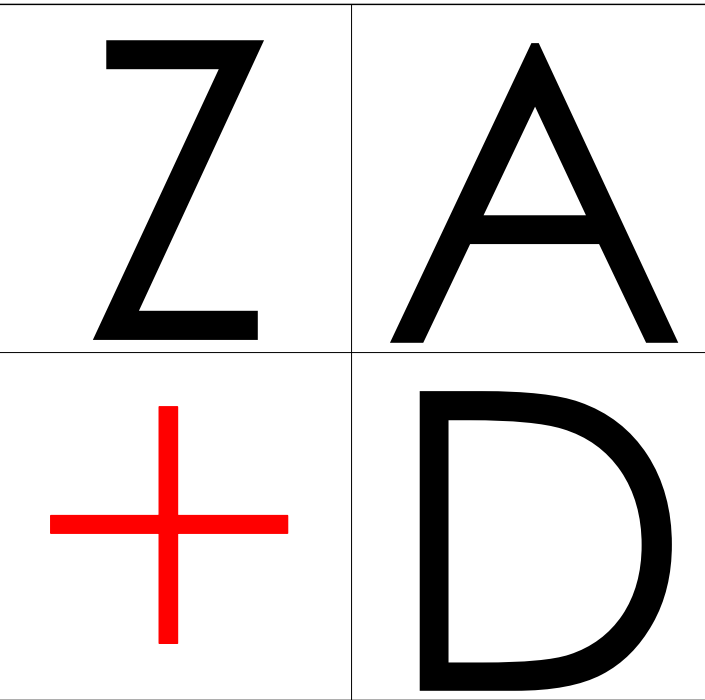
21 BYTE COURT, SUITE 1
FREDERICK, MD 21702
P.301.698.0020 F.301.698.0920
www.za-d.com



1
A-302

OVERALL ELEVATION - ALLEY

SCALE: 1/4" = 1'-0"



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Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS.
ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK.
ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS.
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QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

SHILA APARTMENT

PROJECT ADDRESS:
13 W. 4th STREET
FREDERICK, MD 21701

SHEET NAME:
BUILDING ELEVATIONS

JOB NUMBER: 22602

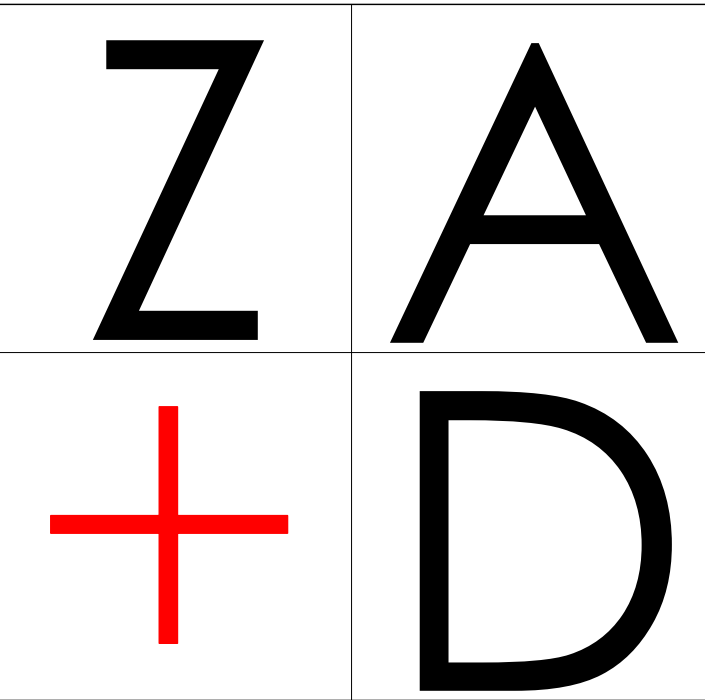
DRAWING NUMBER:

A-303

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FREDERICK, MD 21702
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1 OVERALL ELEVATION - REAR
A-303 SCALE: 1/4" = 1'-0"



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PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS.
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QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

SHILA APARTMENT

PROJECT ADDRESS:
13 W. 4th STREET
FREDERICK, MD 21701

SHEET NAME:
BUILDING ELEVATIONS

JOB NUMBER: 22602

DRAWING NUMBER:

A-304

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FREDERICK, MD 21702
P.301.698.0020 F.301.698.0920
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1 OVERALL ELEVATION - SIDE
A-304 SCALE: 1/4" = 1'-0"